

QUICK 3D ONLY
MAY NOT BE ACTUAL



LOWER FLOOR PLAN

8'-0" CEILINGS U.N.O.

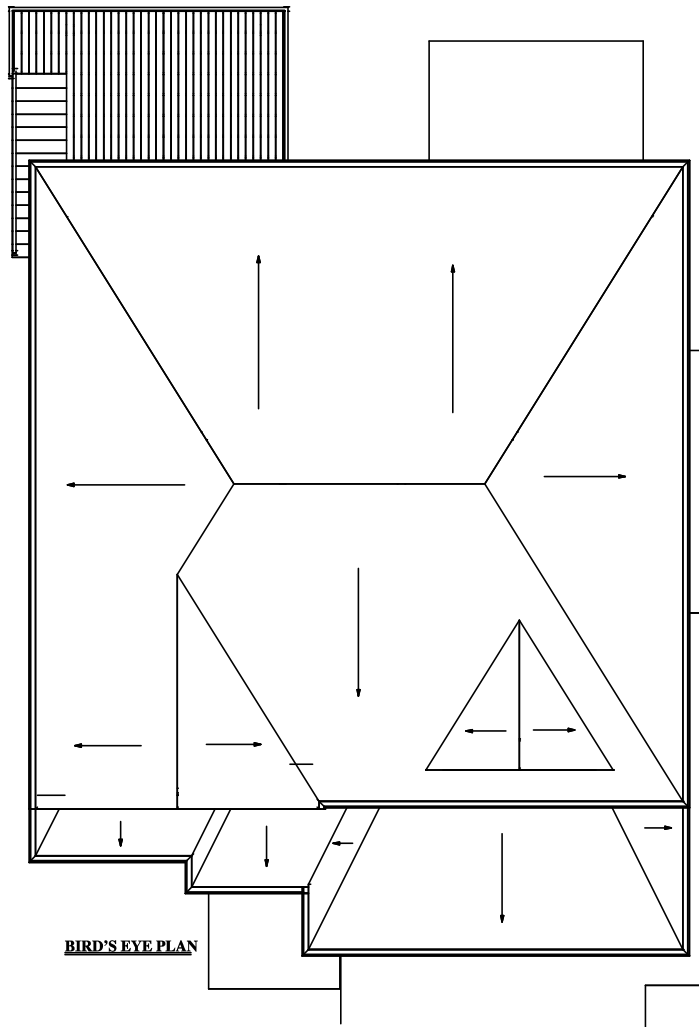
LOWER FLOOR TOTAL = 1212 SqFt

LOWER	456	SqFt
SUITE	756	SqFt
GARAGE	400	SqFt
COV. ENTRY	29	SqFt

UPPER FLOOR PLAN

9'-0" CEILINGS U.N.O.

UPPER FLOOR	1412	SqFt
OPEN DECK	168	SqFt



BIRD'S EYE PLAN



Client: KAVORS DEV
LOT 15 TANNIS WAY
NANAIMO, BC

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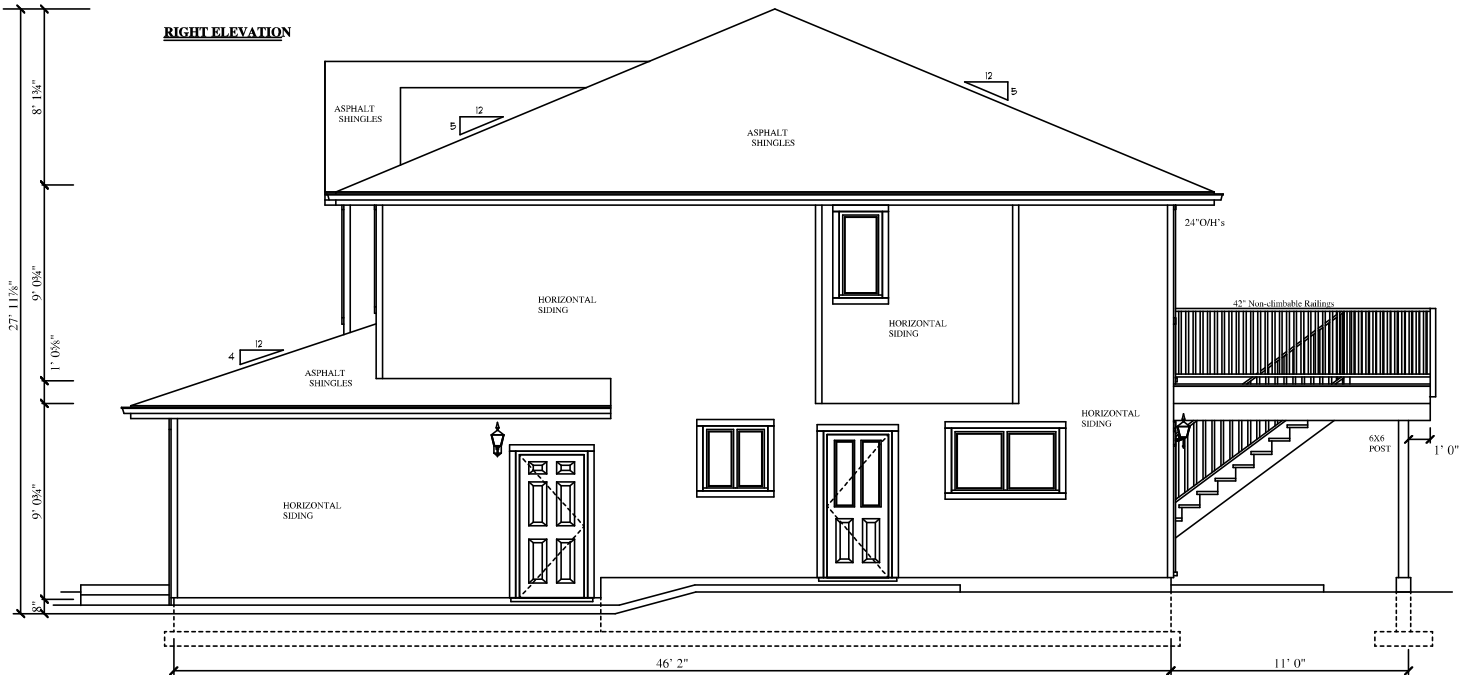
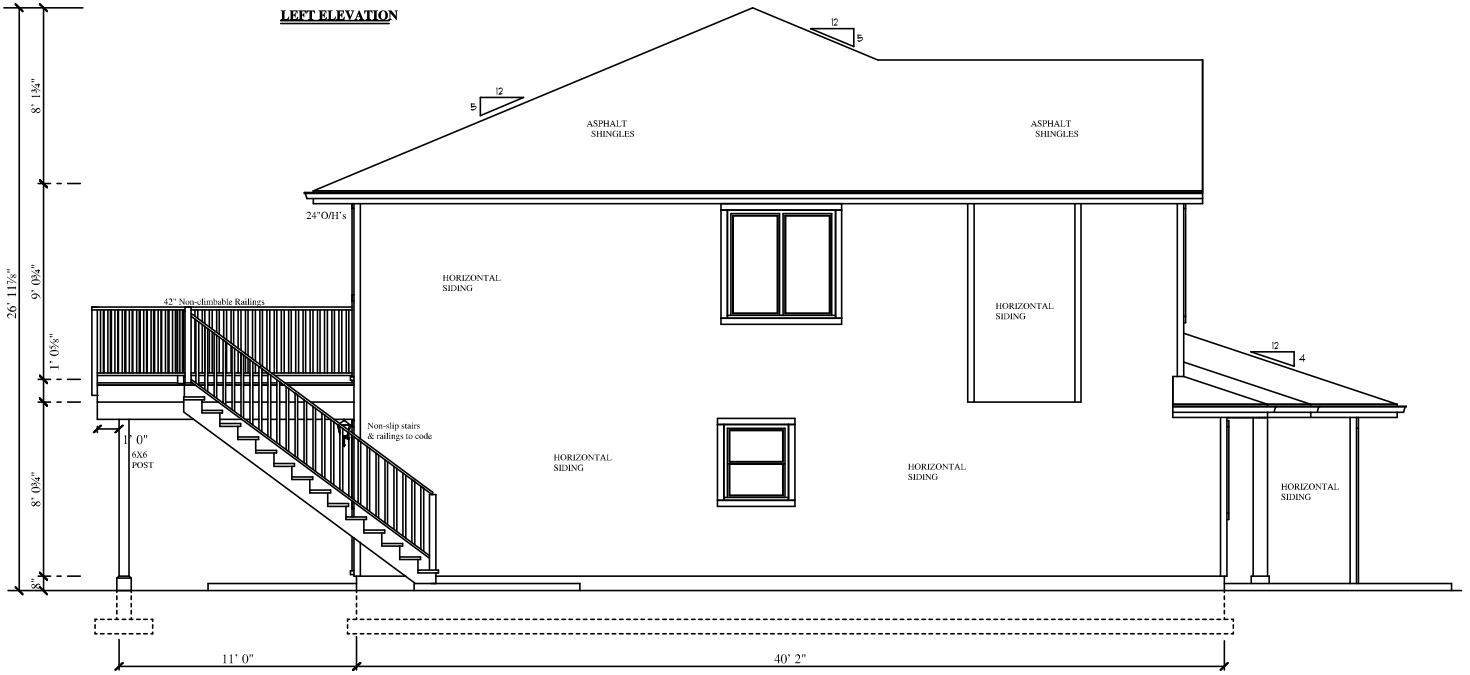
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Max. City Allowable Height :





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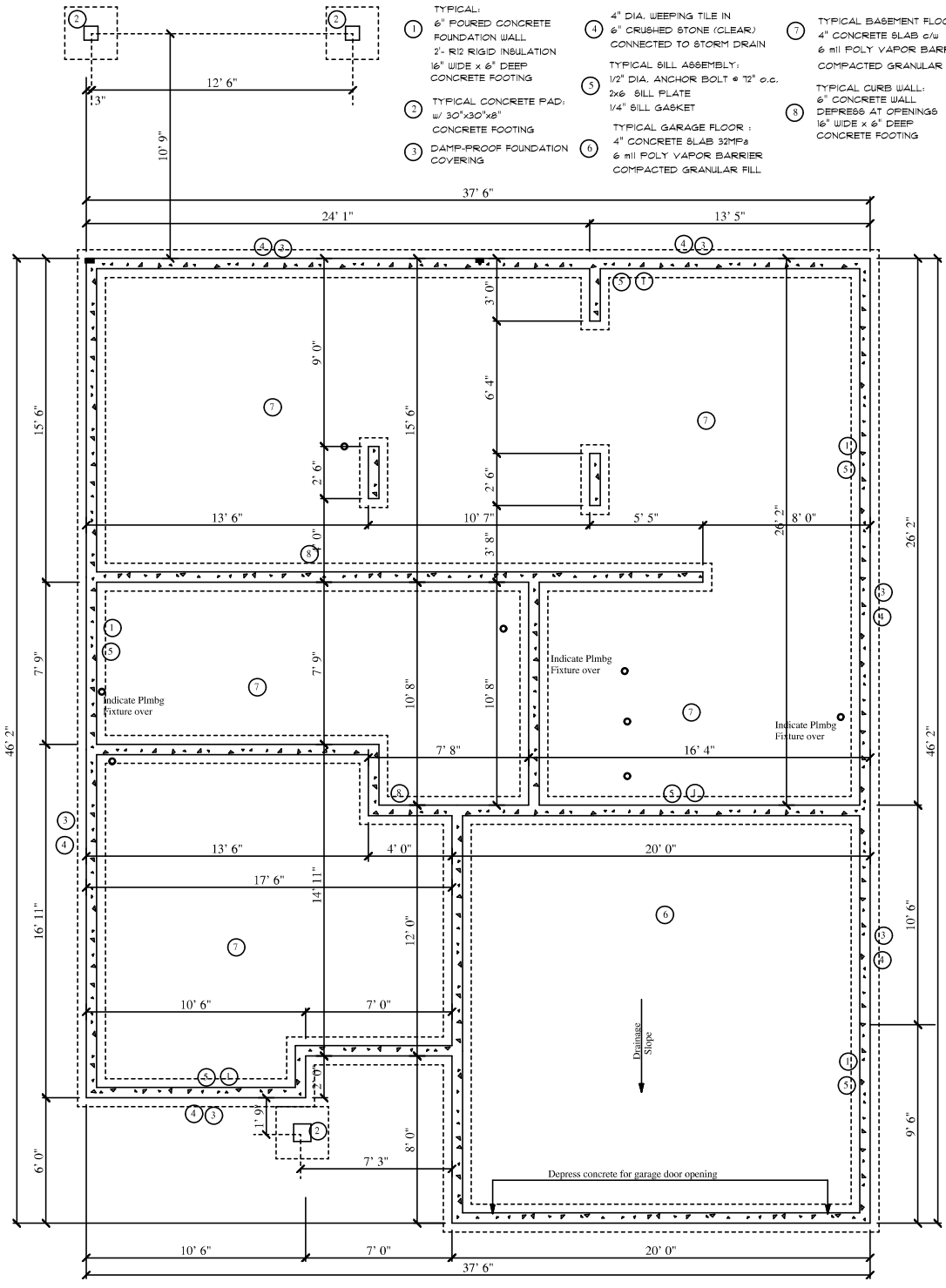
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FOUNDATION PLAN
SLAB ON GRADE



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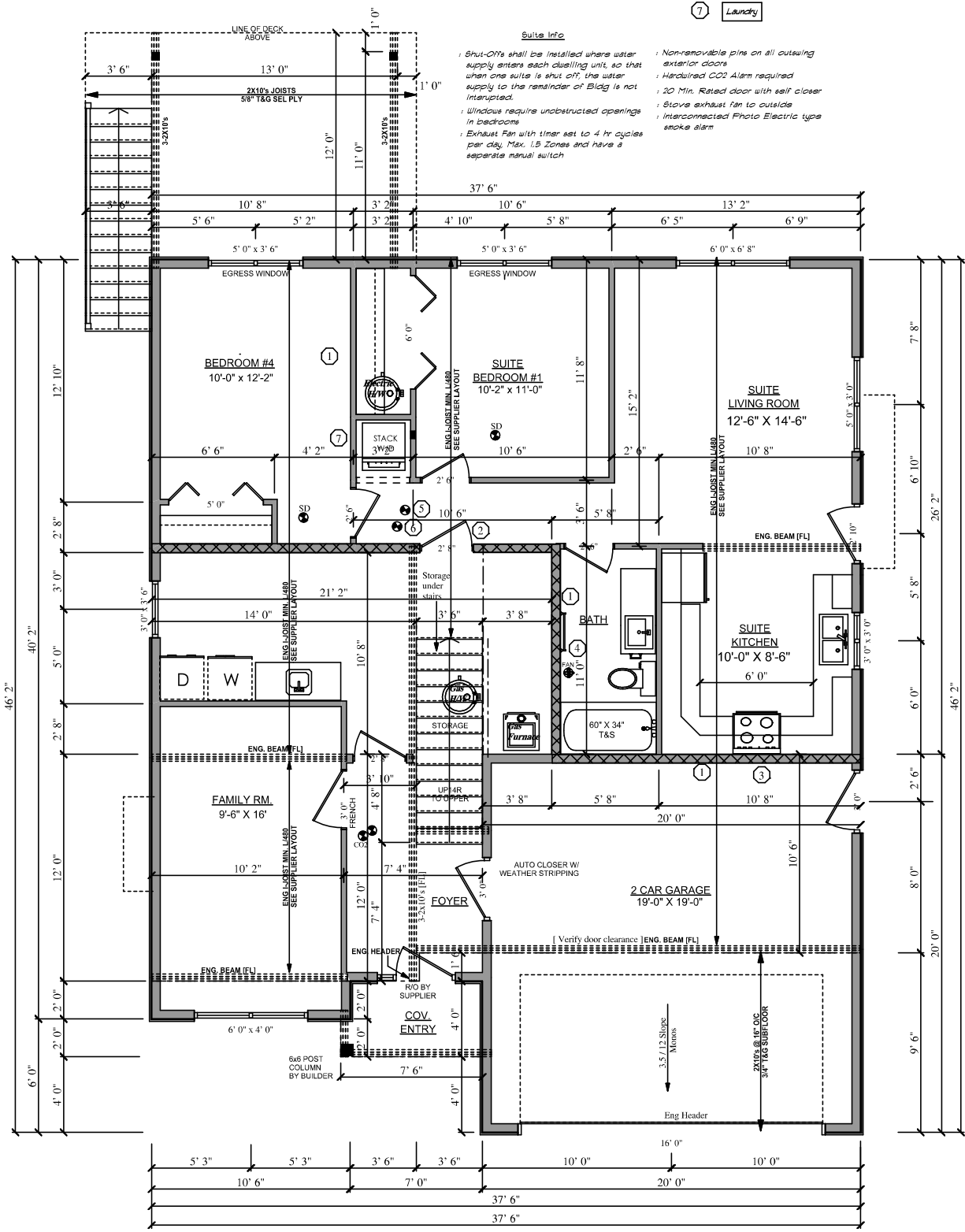
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Indicates Walls between suite + residence
 Suite - separate baseboard heating
 All water lines, drain wastes enclosed in chdwall
 5/8" drywall ceilings

Typical:
 Suite Separation Walls,
 5/8" Fireguard both sides
 2x4 Stud@16" - Insulated

- ① Separation Wall
- ② 20 Min. Rated Fire Door
- ③ Hood Fan
- ④ I.B. Zone Fan + Timer
- ⑤ Ionization
- ⑥ Photo Electric Smoke Alarm
- ⑦ Laundry



Suite Info

- Shut-Offs shall be installed where water supply enters each dwelling unit, so that when one suite is shut off, the water supply to the remainder of Bldg is not interrupted.
- Windows require unobstructed openings in bedrooms
- Exhaust Fan with timer set to 4 hr cycles per day, Max. 1.B. Zones and have a separate manual switch
- Non-removable pins on all outgoing exterior doors
- Hardwired CO2 Alarm required
- 20 Min. Rated door with self closer
- Stove exhaust fan to outside
- Interconnected Photo Electric type smoke alarm

LOWER FLOOR PLAN

8'-0" CEILINGS U.N.O.

LOWER FLOOR TOTAL = 1212 SqFt

LOWER SUITE	456	SqFt
GARAGE	756	SqFt
COV. ENTRYS	400	SqFt
	29	SqFt



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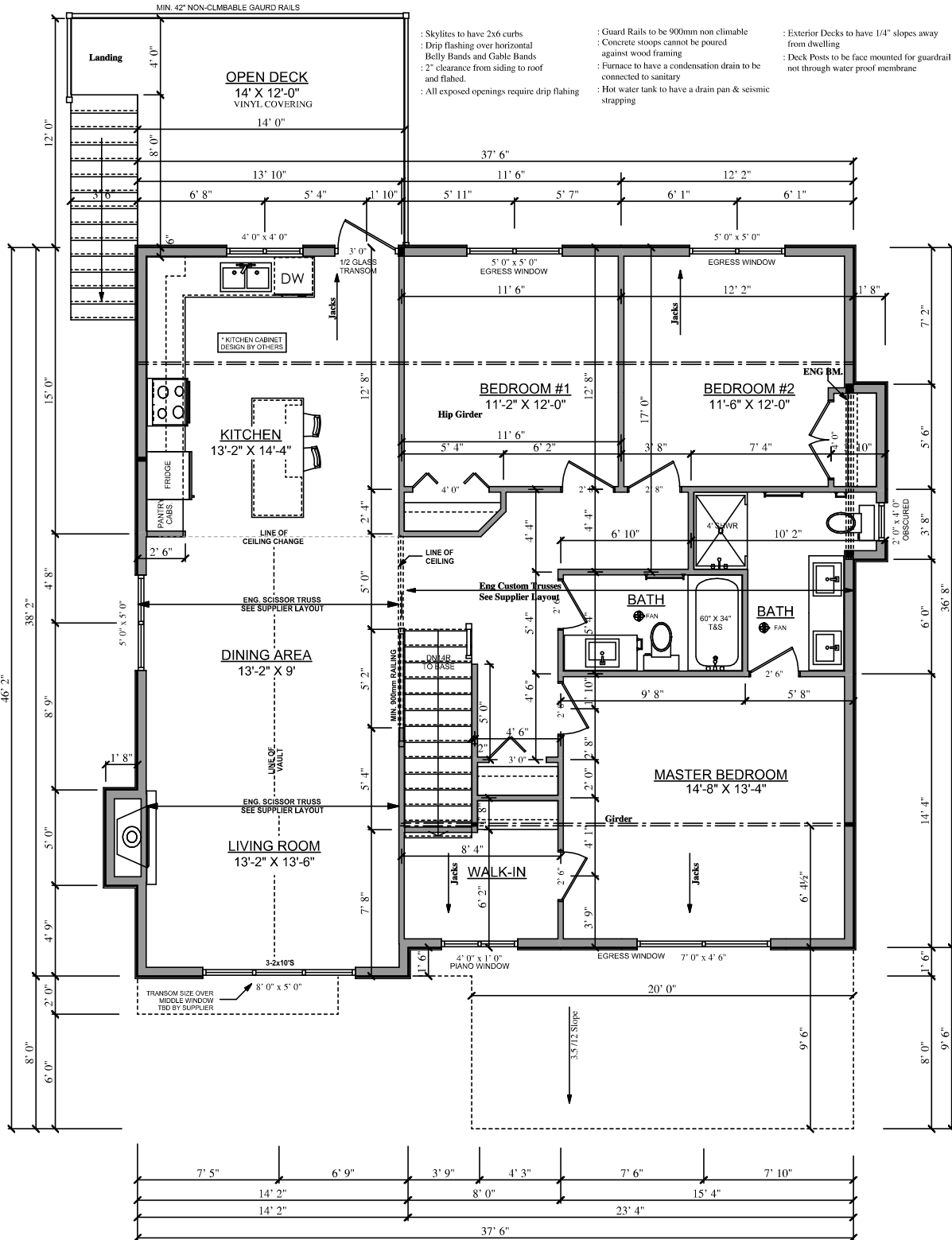
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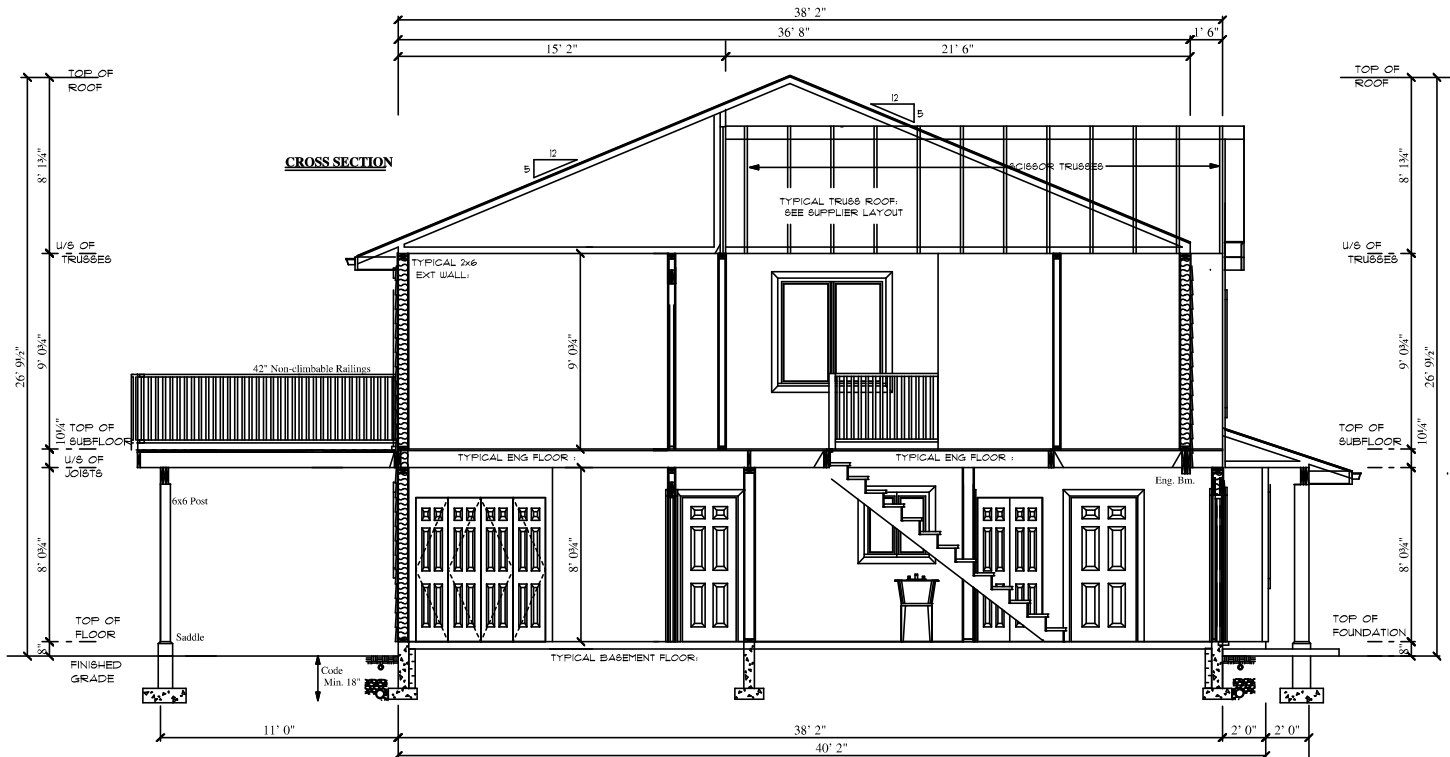
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- : Skylites to have 2x6 curbs
- : Drip flashing over horizontal Belly Bands and Gable Bands
- : 2" clearance from siding to roof and flashed.
- : All exposed openings require drip flashing
- : Guard Rails to be 900mm non climable
- : Concrete stoops cannot be poured against wood framing
- : Furnace to have a condensation drain to be connected to sanitary
- : Hot water tank to have a drain pan & seismic strapping
- : Exterior Decks to have 1/4" slopes away from dwelling
- : Deck Posts to be face mounted for guardrail not through water proof membrane

UPPER FLOOR PLAN UPPER FLOOR 1412 SqFt
 9'-0" CEILINGS U.N.O. OPEN DECK 168 SqFt



CROSS SECTION

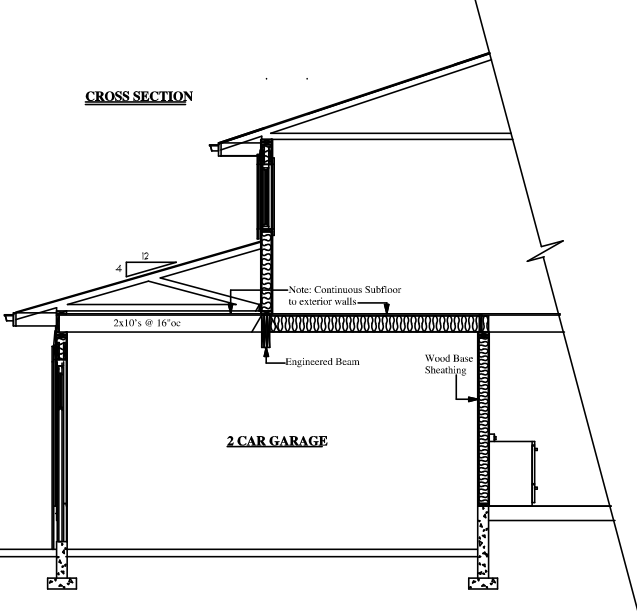
- TYPICAL:**
6" FOURED CONCRETE FOUNDATION WALL
2" RIGID INSULATION
16" WIDE x 6" DEEP CONCRETE FOOTING
- TYPICAL CONCRETE PAD:**
w/ 24"x24"x8" CONCRETE FOOTING
DAMP-PROOF FOUNDATION COVERING
4" DIA. WEAVING TILE IN 6" CRUSHED STONE (CLEAR) CONNECTED TO STORM DRAIN
- TYPICAL SILL ASSEMBLY:**
1/2" DIA. ANCHOR BOLT @ 12" o.c.
2x6 SILL FLATE
1/4" SILL GASKET
- TYPICAL GARAGE FLOOR:**
4" CONCRETE SLAB 30MPa
6 mil POLY VAPOR BARRIER
COMPACTED GRANULAR FILL
- TYPICAL BASEMENT FLOOR:**
4" CONCRETE SLAB c/w
6 mil POLY VAPOR BARRIER
COMPACTED GRANULAR FILL
- TYPICAL CURB WALL:**
6" CONCRETE WALL
16" WIDE x 6" DEEP CONCRETE FOOTING
- TYPICAL ENG FLOOR:**
3/4" TAG SUBFLOOR
SCREWED & GLUED ENG. JOISTS MIN. L/480
SEE SUPPLIER LAYOUT
- TYPICAL 2x4 WALL:**
1/2" DRYWALL
TAPED & BANDED
2x4 STUDS @ 16" o.c.
1/2" DRYWALL
TAPED & BANDED
- TYPICAL 2x6 SIDING EXT WALL:**
SIDING (VERIFY)
7/16" PLYWOOD SHEATHING
2 LAYERS #30MIN BLDG PAPER
RAIN SCREEN DETAIL (if applicable)
2x6 STUDS @ 16" o.c.
RIG BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL
TAPED & BANDED
NOTE:
MAINTAIN A MINIMUM 6'-8" HEADROOM AT STAIRWAY
- TYPICAL TRUSS ROOF:**
FIBREGLASS SHINGLES
7/16" ROOFING PLYWOOD c/w
1" CLIPS
2x8 BLOCKING AT PEAK
PRE-ENG. TRUSSES @ 24" o.c.
2x4 TRUSS BRACING
R40 BATT INSULATION
6 mil POLY V.B.
5/8" CEILING BOARD
TAPED & BANDED
SEE SUPPLIER LAYOUT
NOTE:
VENTILATE ROOF TO USMOOTH OF INSULATED CEILING AREA

Climate Zone 4 Section 9.36. of the BC Bldg Code

Typical Roofs	RSI 6.91 [R-39.2]	Typical Windows & Doors	US1 1.80 [U-0.32]
Typical Cathedral Ceilings & Flat Roofs	RSI 4.67 [R-26.5]	Typical Door to Garage	RS1 1.1 [R-6.23]
Typical Skylights	US1 2.90 [U-0.52]	Typical Access Hatch	RS1 2.6 [U-0.46]
Typical Skylights Shafts	RS1 2.78 [R15.8]	Typical Front Door	US1 2.6 [U-0.46]
Typical Ext. Walls	RS1 2.78 [R-15.8]	Typical Glass Block	US1 2.9 [U-0.51]
Typical Floors over Unheated Spaces	RS1 4.67 [R-26.5]		
Typical Foundation Walls	RS1 1.99 [R-11.3]	Contractor must adhere to the new Energy Efficiency Requirement Climate Zone 4 Section 9.36. of the BC Bldg Code	
Typical Heated Floors	RS1 2.32 [R-13.2]		
Typical Unheated Floors above frost line	RS1 1.96 [R-11.1]		
Typical Unheated Floors below frost line	Insulation not required		

Thermal Characteristics of Building Assemblies (9.36.2.6 - 9.36.2.8)

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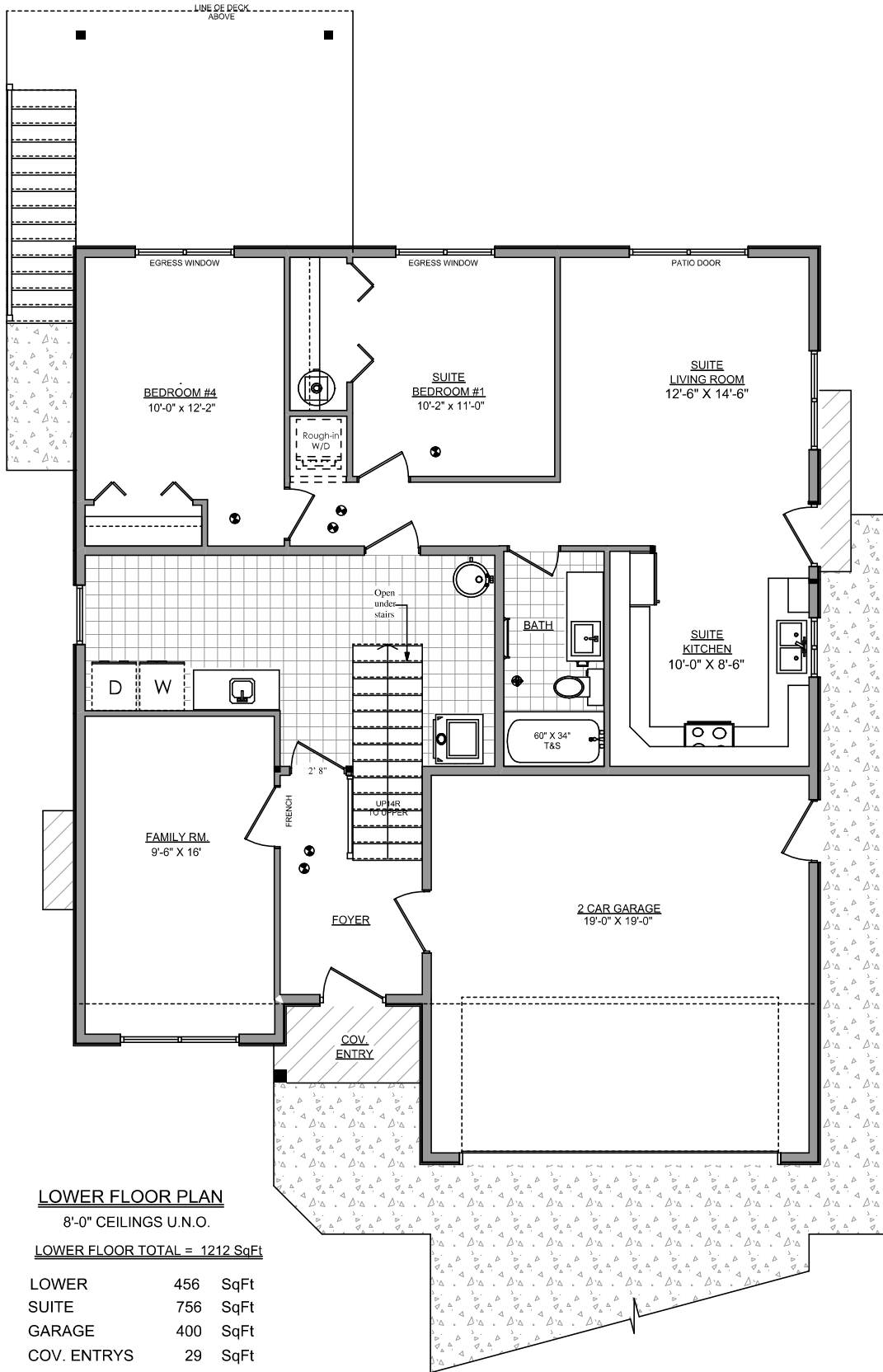
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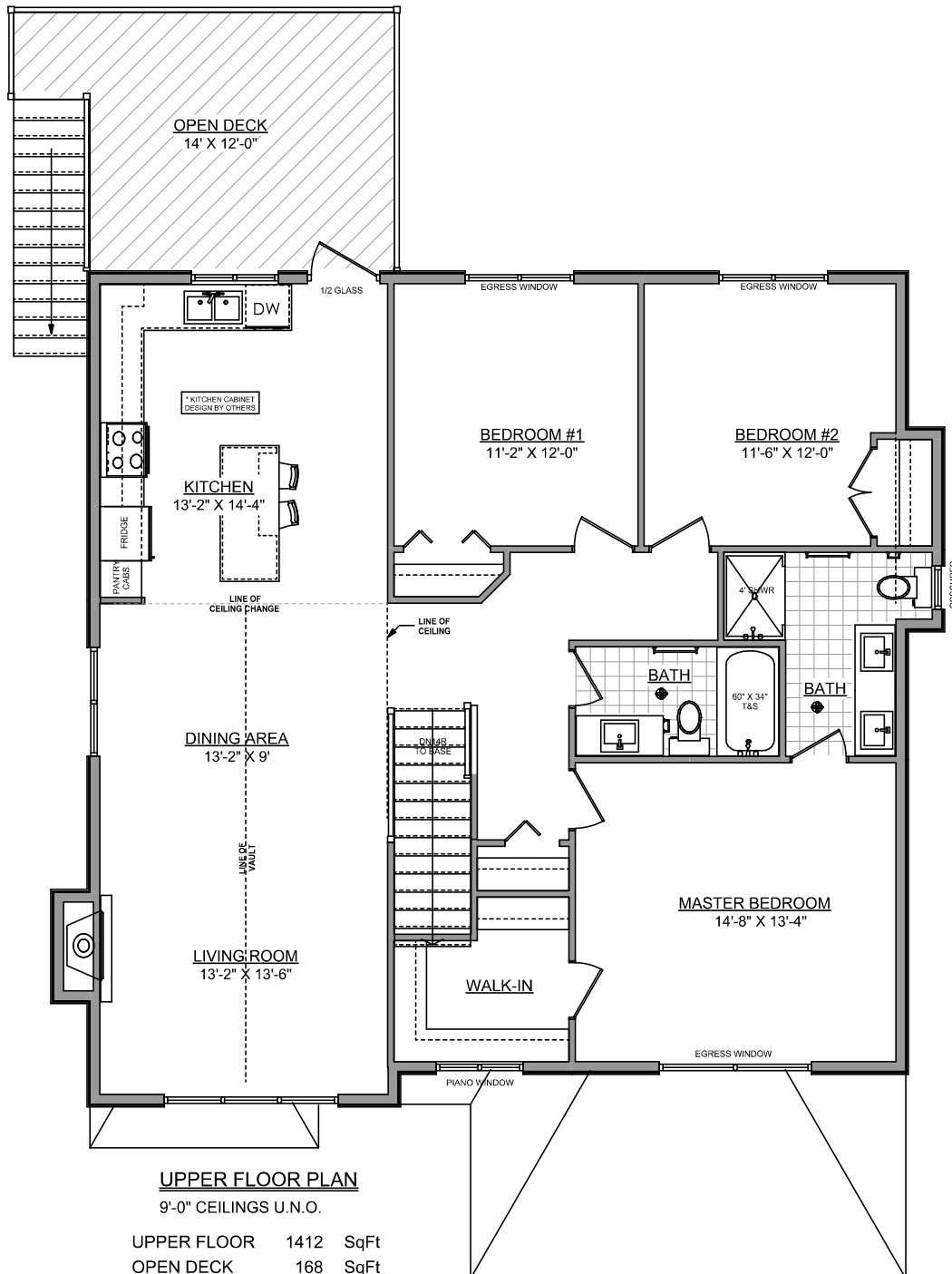
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